

ADDENDUM NO. 4

Date: 2025-05-16

From: Jim Shearer, Lawrence Group

Architect's Project No. 2024110 – ECC Rolla – Demolition Package

Project: Hazardous Materials Abatement and Selective Demolition at East Central College Rolla Campus

Owner: East Central College
1964 Prairie Dell Rd.
Union, MO 63084

Owners Representative: Navigate Building Solutions
8419 Manchester Rd.
St. Louis, MO 63144

This Addendum is issued before execution of Contract to inform the Bidders of revisions to the Bid Documents and shall be included in the contract.

All requirements contained in the Bidding Documents shall apply to the Addendum. The work called for in this Addendum shall be the same as set forth in the applicable portions of the Bidding Documents unless otherwise specified in this Addendum. All incidental work necessitated by this Addendum as required to properly complete the work shall be included in the Bids even though not specifically stated in this Addendum.

Project Manual and Specification Addenda

1 1400 Independence Rd Asbestos Survey – SCI Edit

1.1 Add the Supplemental Plan to the Asbestos Survey.

2 Lead Based Paint Survey

2.1 Add the Lead Based Paint Survey to the Project Manual.

3 Roofing Asbestos Survey

3.1 Add the Roofing Asbestos Survey to the Project Manual.

Drawing Addenda

4 Original Building Drawings

4.1 Add the Original Building Plans – For Reference Only.

4.1.1 These drawings show the original building construction, and do not include any subsequent renovations.

5 GD000 COVER SHEET

5.1 Revise List of Drawings.

6 AD100 DEMOLITION PLAN - OVERALL

6.1 Revise General Notes.

7 AD100E DEMOLITION PLAN – OVERALL ELECTRICAL AND TECHNOLOGY

7.1 Revise Electrical Scope of Work.

8 AD101 DEMOLITION PLAN AREA A

8.1 Revise Keyed Notes

8.2 Revise Legend

8.3 Revise floor plan as indicated

9 AD102 DEMOLITION PLAN AREA B

9.1 Revise Keyed Notes

9.2 Revise Legend

9.3 Revise floor plan as indicated

10 AD103 DEMOLITION PLAN AREA C

10.1 Revise Keyed Notes

10.2 Revise Legend

10.3 Revise floor plan as indicated

11 AD104 DEMOLITION PLAN AREA D

11.1 Revise Keyed Notes

11.2 Revise Legend

11.3 Revise floor plan as indicated

12 AD105 DEMOLITION PLAN AREA E

12.1 Revise Keyed Notes

12.2 Revise Legend

12.3 Revise floor plan as indicated

13 AD150 DEMOLITION CEILING PLAN - OVERALL

13.1 Add Sheet AD150.

14 AD151 DEMOLITION CEILING PLAN AREA A

14.1 Add Sheet AD151

15 AD152 DEMOLITION CEILING PLAN AREA B

15.1 Add Sheet AD152

16 AD153 DEMOLITION CEILING PLAN AREA C

16.1 Add Sheet AD153

17 AD154 DEMOLITION CEILING PLAN AREA D

17.1 Add Sheet AD154

18 AD155 DEMOLITION CEILING PLAN AREA E

18.1 Add Sheet AD155

Contractor Questions

- In various rooms there is not a note for flooring removal. Is it the intent that this flooring remains
 - **There is flooring in all areas. Please refer to the revised floor plans**
- On Sheet AD104 keynote 0205 call out for raised floor removal. Is there another flooring material under this?
 - **Yes, contractor is to assume there is existing VCT/asbestos mastic under the raised floor system. Please refer to the revised drawings.**
- Will there be any diversity goal for the project or bids evaluated on this?
 - **There are no diversity goal requirements.**
- Please confirm that the sprinkler system, fire alarms need to stay active during demolition.
 - **The sprinkler system should stay active unless temporary downtime is necessary to do work to turn sprinkler heads up. Fire alarm for all spaces outside the scope of demolition to remain active as described on AD100E.**
- Please clarify the scope of the third party air monitoring? Per Scope of work Note 36.
 - **Include air monitoring as required in the Scope of Work as a breakout in your bid.**
- SCI reports show the quantity of 85,000ft² and 2,800ft² of asbestos flooring to be removed. Please verify the quantity for removal. Also during the site visit it was found

some of the rooms did not have floor tile under the carpet and it was glued directly to the asbestos adhesive. Please submit revised drawings and quantities to clarify these areas.

- **The amount shown in the SCI report includes the entire building. The Bid Drawings show the areas that are not in the scope of demolition/abatement. Include only the area that is shown to be in scope on the Bid Drawings in your takeoffs. SCI has provided a Supplemental Plan, included in this Addendum, showing areas without asbestos tile/mastic – these areas are all out of the scope of demolition/abatement. Plans are not available showing tile below carpet vs mastic only below carpet - assume all carpet has asbestos adhesive or tile below the carpet.**
- Clarify the quantities of lamps, ballast, fire exlight lights, strobes, thermostats and other HHW products that need to be removed prior to demolition. Is the ballast considered PCB?
 - **This information is not available – Demolition Reflected Ceiling Plans and existing building drawings are provided as part of this Addendum.**
- Are there any lead based paint hazards to be aware of.
 - **Please refer to the Lead Based Paint Survey included in this Addendum.**
- Please edit the drawing to distinguish the different wall types (drywall metal stud vs block)
 - **Please refer to the revised plans**
- Please clarify the vault room and the scope of the demo in this area.
 - **Please refer to the revised plans**
- After demolition is completed, are there any requirements to leave any temporary power panels or temp lighting in the area?
 - **Any temporary measures put in place that support Occupied Tenant Areas should be left in place. Otherwise no, there is not a requirement to leave these in place after completion of demolition.**
- Clarify the following General Demolition notes per drawings 13,20,21,30,31. Are these to be completed by the general contractor?
 - **Patching/prep/painting is not required – please refer to the revised drawings.**
- General Note 16 states a 2x4 wall with visqueen is used for dust control. Is this adequate for the partition areas from demolition area to occupied areas.
 - **Please refer to the revised General Notes for partition requirements.**
- Will the bid date be pushed back to give adequate time for the contractors to bid the project.
 - **Please refer to Addendum 03 for the revised Bid Date.**

- Will background checks, E-Verified be required.
 - **Background checks will be required if access to the FBI space is required. Coordinate with Owner's Representative if access is required for any reason.**
- Clarify the scope of items to be salvaged (speakers, cameras, etc.) are these by contractor or owner.
 - **All salvage items will be removed by Owner prior to demo starting. Coordinate with Owner prior to starting demolition/abatement activities that there are no further items to be salvaged. Contractor to return items to owner as indicated on AD100E.**
- Sheets AD103 & AD104 have keyed demo notes in the "bubble area not in scope" is this to be demoed or not in scope.
 - **Please refer to the revised drawings.**
- Exterior wall penetrations is the contractor responsible for temp barrier in this area after demolition
 - **Yes – please refer to the revised drawings.**
- Exterior and interior new doorway/wall openings, are we to provide temporary shoring
 - **Yes – please refer to the revised drawings.**
- Is demo/abatement contractor responsible for sprinkler heads/system modifications? **(Heads turned up specifically)**
 - **Yes, this work should be included in the demolition project scope.**
- Is demo/abatement contractor responsible for refrigerant/freon recovery during this phase?
 - **Yes if equipment is removed with refrigerant/freon this should be included in the demolition project scope.**
- Is demo/abatement contractor responsible for light bulbs/ballasts & HHW items. **(These are to be quantified as discussed during the pre-bid)**
 - **Yes, this work should be included in the demolition project scope. Quantities are not available. Demolition Reflected Ceiling Plans and existing building drawings are provided as part of this Addendum.**
- Is demo/abatement contractor responsible for fire watch during occupied or unoccupied durations of project?
 - **See updated fire alarm notes on AD100E.**
- Who is responsible for any loss in relation to any IT, PHONE, LOW VOLTAGE, or FIBER LINES that become damaged or compromised inadvertently during the demo/abatement phase?

- **Demolition contractor is responsible to repair or replace any services or lines that are damaged during demolition/abatement.**
- Is demo/abatement contractor responsible for actual fire rated hard barriers or is poly/vis queen acceptable?
 - **Fire rated barriers are not required. Refer to revised drawings for barrier requirements.**
- Will there be any remaining loose furniture, FF&E or salvage items?
 - **No, these items will be removed by the Owner prior to Demolition. Verify with owner there are no further items to be salvaged prior to starting demolition/abatement activities.**
- Please confirm the allowable working hours for asbestos abatement and selective demolition.
 - **Standard working hours will be from 7am – 3:30 pm. If after hours or weekend work is necessary please coordinate with owner.**
- Please further elaborate General Demolition Note 10 as there is no GC on this project at current time? Who is responsible of items to be stored?
 - **Demo contractor will be responsible – please see the revised drawings**
- Were any mastics associated with the raised floor posts tested for asbestos? If not, is abatement contractor to assume that mastic is positive for ACM?
 - **Assume asbestos mastic is not present at raised floor posts. If asbestos is suspected in any areas contact Owner Representative for coordination with SCI.**
- Roofing is untested and assumed as an asbestos material. Please confirm there is not a demo/abatement scope for roof work?
 - **The roof is not in the demolition/abatement scope. Please refer to the roof survey provided in this Addendum.**
- Is abatement contractor responsible for floor prep for new specified flooring?
 - **Demo contractor is responsible – please refer to the revised drawings.**

ECC - Rolla Campus

OWNER:

East Central College

Demolition Package

4.07.2025

Date: 4.25.2025

Project Name: ECC - Rolla Campus

Professional Seal:

Further Testing Name
Certificate of Authority: CORPORATE COA
Other Test
Testing Name

The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or in part, or for any other purpose or project without the written consent of the architect.

Owner: East Central College
1964 Prairie Dell Road
Union, MO 63084

| | |
|------------------------|--|
| Owner's Representative | Navigate Building Solutions 8419 Manchester Rd. St. Louis, MO 63144 m: 720.557.1459 |
|------------------------|--|

| | |
|---------------------|---|
| Civil Engineer | CDI 5220 Oakland Ave. St. Louis, MO 63110 |
| COA | o: 314.863.5570 m: 314.265.3693 |
| Structural Engineer | KPFF 1630 Des Peres Rd, Suite 100 St. Louis, MO 63131 |
| COA | o: 314.835.0524 d: 314.375.4578 |

| | |
|----------------|---|
| COA | St. Louis, MO 63131 o: 314.835.0524 d: 314.375.4578 |
| MEPFP Engineer | IMEG 15 Sunnen Dr, Suite 104 St. Louis, MO 63143 |
| COA | o: 314.257.0632 m: 314.827.7022 |

COA St. Louis, MO 63
o: 314.257.0632
m: 314.827.7022

| | |
|--------------|-------------|
| GENERAL | |
| Sheet Number | Sheet Name |
| GD-000 | COVER SHEET |

| ARCHITECTURAL DEMO | | |
|--------------------|---|--|
| Sheet Number | Sheet Name | |
| AD100 | DEMOLITION PLAN - OVERALL | |
| AD100E | DEMOLITION - OVERALL ELECT & TECHNOLOGY | |
| AD100M | DEMOLITION - OVERALL MECH & PLUMBING | |
| AD101 | DEMOLITION PLAN - AREA 'A' | |
| AD102 | DEMOLITION PLAN - AREA 'B' | |
| AD103 | DEMOLITION PLAN - AREA 'C' | |
| AD104 | DEMOLITION PLAN - AREA 'D' | |
| AD105 | DEMOLITION PLAN - AREA 'E' | |
| AD106 | DEMOLITION CEILING - OVERALL | |
| AD106E | DEMOLITION CEILING - AREA 'A' | |
| AD106B | DEMOLITION CEILING - AREA 'B' | |
| AD106C | DEMOLITION CEILING - AREA 'C' | |
| AD106D | DEMOLITION CEILING - AREA 'D' | |
| AD106E | DEMOLITION CEILING - AREA 'E' | |

Applicable Building Codes:
 2018 ICC INTERNATIONAL BUILDING CODE
 2018 ICC INTERNATIONAL MECHANICAL CODE
 2018 ICC INTERNATIONAL PLUMBING CODE
 2018 ICC INTERNATIONAL FIRE CODE
 2000 ICC ENERGY CODE

Construction Type:
(CODE) Type 2B Unprotected, Fully Sprinklered
Fully Sprinklered

Occupancy:
Use Group B - Business

[illegible]

Project Number:
2024110

Issue Date:
4.25.2025

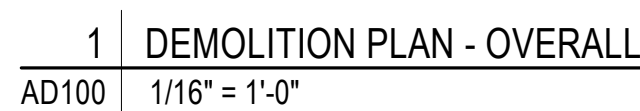
GD-000

Client Name: East Central College

Project Number: 2024110



Office:
319 N. 4th Street
Suite 1000
St. Louis, MO 63102
p 314.231.5700
f 314.231.0816



DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO, ITEMS IDENTIFIED BY KEYED NOTES. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO INSTALL NEW CONSTRUCTION & FINISHES.

2 REMOVE ALL EXISTING PARTITIONS AND INTERIOR SURFACES, IN ALL PROJECT AREAS, AFTER EACH CONSTRUCTION PHASE IS COMPLETED. REMOVED MATERIALS SHALL BE STORED AT THE LOCATION OF ORIGIN UNTIL THE NEXT PHASE OF CONSTRUCTION IS NOTED OTHERWISE. ALL PARTITIONS INDICATED FOR REMOVAL, SHALL BE REMOVED TO UNDERSIDE OF STRUCTURE ABOVE.

4 DO NOT CUT OR SHUT OFF ANY UTILITIES WITHOUT PRIOR NOTIFICATION OF OWNERS REPR.

5 ANY CONSTRUCTION NOTED AS "TO REMAIN" SHALL BE PROTECTED DURING DEMOLITION. ANY DAMAGE TO THIS CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION IMMEDIATELY.

6 ANY EXISTING ITEMS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION OF EXISTING WORK OR CONSTRUCTION OF NEW WORK SHALL BE REPAIRED AND/OR REPLACED TO MATCH EXISTING NO COST TO OWNER.

7 CONTRACTOR IS NOTED AS "SAVES" WHENEVER IT IS TURNED OVER TO FACILITIES DIRECTOR OR OWNER FOR RELOCATION. PRIOR TO DEMOLITION OF ANY MATERIALS NOTED TO BE REMOVED, GENERAL CONTRACTOR TO MEET WITH OWNERS REPRESENTATIVE & ENGINEERING DEPARTMENT TO COORDINATE ANY MATERIALS TO BE SAVED FOR POSSIBLE REUSE.

8 DEMO CONTRACTOR TO COORDINATE WITH OWNER ANY ITEMS TO BE SALVAGED PRIOR TO BEGINNING ABATEMENT/DEMOLITION ACTIVITIES. OWNER TO HAVE FIRST SALVAGE RIGHT ON ALL ITEMS WHEREBY NOTED ON THE DRAWINGS. GENERAL CONTRACTOR TO PROVIDE ACCESS TO ALL ITEMS TO BE SALVAGED IN THE PROPOSED WORK.

9 DEMO CONTRACTOR SHALL REMOVE ALL FURNITURE, FIXTURES, & EQUIPMENT NOT PART OF THE NEW DESIGN. ALL FIXTURES & EQUIPMENT DESIGNATED TO BE REUSED IN RENOVATED SPACES ARE TO BE STORED BY THE DEMO CONTRACTOR. ANY FIXTURES & EQUIPMENT DAMAGED DURING STORAGE OR DEMOLITION MUST BE REPAIRED OR REPLACED BY THE DEMO CONTRACTOR.

10 DO NOT DISTURB EXISTING STRUCTURAL MEMBERS WITHOUT PRIOR NOTIFICATION OF THE ARCHITECT, UNLESS OTHERWISE NOTED.

12 ALL DEMO CONTRACTOR SHALL BE COORDINATED WITH FACILITIES DIRECTOR OR OWNER FOR ACCESS TO SPACE & FOR TIMES AVAILABLE FOR DEMOLITION.

13 NOT USED. (2)

14 ANY CONDITIONS FOUND TO GO BEYOND THE SCOPE OF THIS DEMOLITION PROJECT SHALL BE BROUGHT TO THE ATTENTION OF THE FACILITIES DIRECTOR OR OWNER PRIOR TO ANY FURTHER DEMOLITION WORK.

15 PRIOR TO STARTING ANY DEMOLITION WORK, CONTRACTOR TO REVIEW ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF DEMOLITION & CONSTRUCTION V.P.

16 CONTRACTOR TO PROVIDE DUST & AEROSOL PROTECTION WITH VISQUEEN AND FLUVO COVERED STUPE FRAMED PARTITIONS SUITABLE TO PREVENT THE INFILTRATION OF OCCUPIED AREAS BY ANY DUST, DEBRIS, OR HAZARDOUS MATERIALS DURING ABATEMENT AND DEMOLITION. PROVIDE SOUND INSULATION IN TEMPORARY PARTITIONS.

17 GROUNDWATER MONITORING SYSTEMS SHALL BE MAINTAINED THROUGHOUT DEMOLITION. PEDESTRIAN CONTROLS BY USE OF SOFT BARRIER AND/OR CAUTION AREA DURING ALL PHASES OF CONSTRUCTION.

18 ALL EXISTING FIRE EXTINGUISHERS ARE TO REMAIN. REMOVE TO NEAREST LOCATION POSSIBLE AS CONSTRUCTION ALLOWS.

19 RELOCATE EXISTING FIRE SPRINKLERS IN AFFECTED AREAS PER NFPA 13 AS NEEDED.

20 NOT USED. (2)

21 NOT USED.

22 SPACES IMMEDIATELY ADJACENT TO THE DEMOLITION AREA THAT ARE OCCUPIED BY THE OWNER DURING THE DEMOLITION AND NEW CONSTRUCTION WORK, SHALL BE PROVIDED WITH PROTECTION FOR OWNERS PERSONNEL AND ALL OTHER USERS OF THE SURROUNDING AREAS. CONTRACTOR SHALL PROVIDE PROTECTIONS FROM THE SPREAD OF DUST, DIRT AND HAZARDOUS MATERIALS DURING THE ENTIRE DEMOLITION AND NEW CONSTRUCTION PERIOD.

23 DEMO CONTRACTOR SHALL REMOVE ALL EXISTING DEMOLITION DRAWINGS SHALL BE REMOVED, IN ITS ENTIRETY, FROM THE SITE UNLESS NOTED OTHERWISE.

24 WHENEVER AND WHEREVER DEMOLITION OCCURS, THE REMAINING FLOORS, WALLS, AND CEILING ARE TO BE TAKEN TO LEAVE THE APPEARANCE OF THE ORIGINAL CONSTRUCTION UNLESS OTHERWISE NOTED OTHERWISE.

25 COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION SHOWN ELSEWHERE IN THE DRAWINGS. DUE CARE IS TO BE TAKEN TO AVOID UNNECESSARY DAMAGE TO ADJACENT AREAS.

26 IF UNANTICIPATED HVAC, PLUMBING, ELECTRICAL, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, WHICH COMPLY WITH INTENDED FUNCTION IN RESON, NOTIFY ARCHITECT IMMEDIATELY.

27 PROMPTLY REPAIR DAMAGE CAUSED BY DEMOLITION WORK, TO ADJACENT AREAS SCHEDULED TO REMAIN. WHENEVER EXISTING FLOORS IS INDICATED TO BE REMOVED, DEMO CONTRACTOR TO REMOVE FLOORING DOWN TO SUB FLOOR. DEMO CONTRACTOR SHALL REMOVE ALL EXISTING FLOORING DOWN TO SUB FLOOR.

28 ALL EXISTING UNUSING ELECTRICAL AND DWG. TO BE REMOVED FROM JUNCTION BOX WITH A BLACK COVER PLATE (TO MATCH WALL COLOR) INSTALLED AT STANDARD HEIGHT (18" AFF.C.) OR BELOW.

30 NOT USED.

31 NOT USED.

32 VOC/FLOORING IS PRESENT UNDER ALL EXISTING CARPET TILE AND RAISED FLOORING. REMOVE ALL FLOORING DOWN TO CONCRETE SLAB.

33 ALL CEILING SYSTEMS IN THE SCOPE AREA TO BE REMOVED ENTIRELY.

34 COORDINATE ALL DEMOLITION WORK WITH OWNERS ABATEMENT REPORT AND ABATEMENT WORK.

35 HATCHED AREAS ARE NOT IN SCOPE. ALL CONSTRUCTION, EQUIPMENT, ETC. IN THESE AREAS ARE EXISTING TO REMAIN.

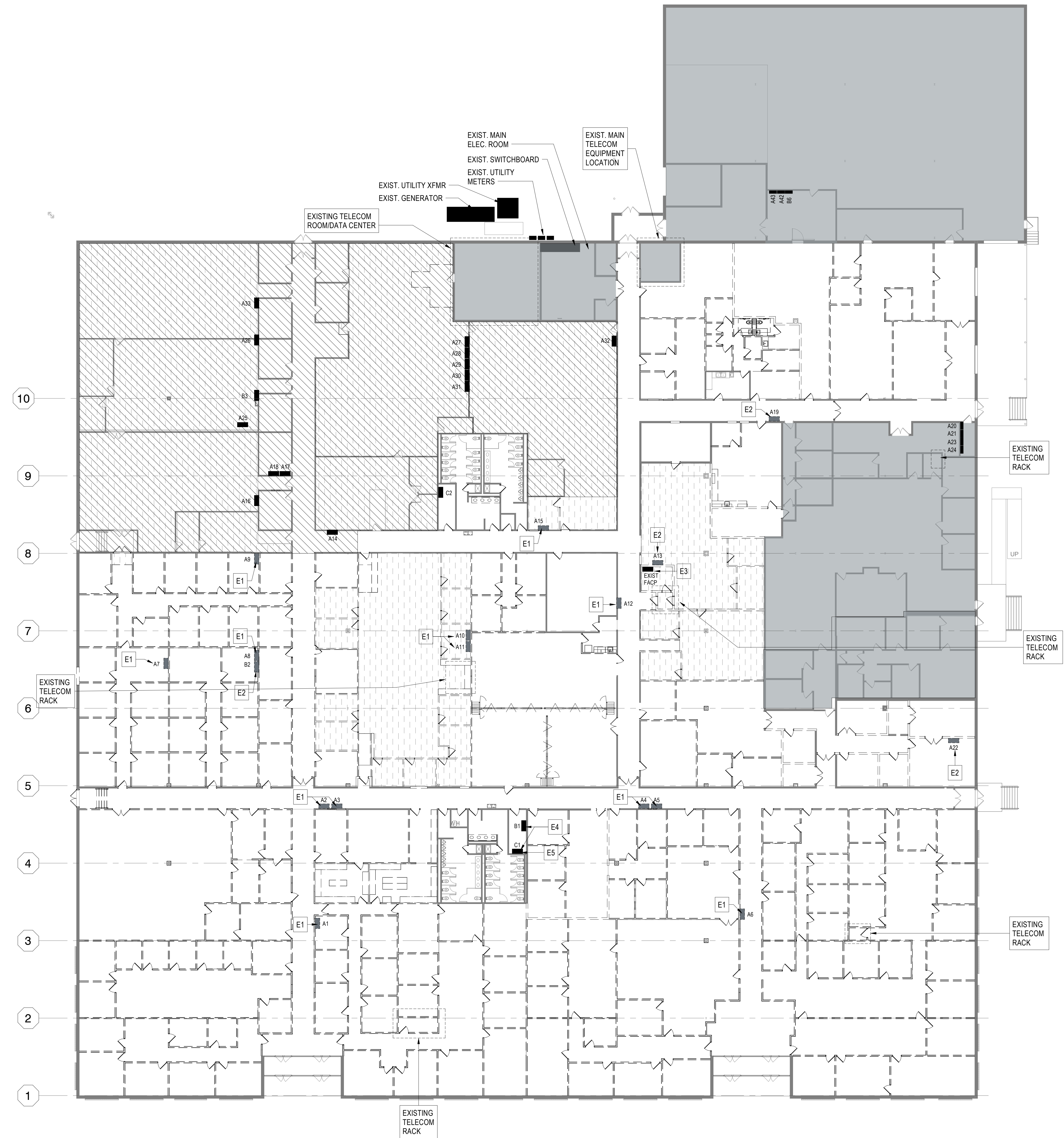
36 GRASSY OPENED AREAS ARE NOT IN SCOPE. ALL CONSTRUCTION, EQUIPMENT, ETC. IN THESE AREAS ARE EXISTING TO REMAIN. THESE AREAS ARE TO REMAIN OPERATIONAL FOR THE DURATION OF DEMOLITION.

$$\frac{1}{8}'' = 1'-0''$$


1400 Independence Rd.

Author _____
Issuing Office: _____

4.25.2025



1 Level 01- Demolition - Overall Electrical/Technology
AD100E 1/16" = 1'-0"

ELECTRICAL SCOPE OF WORK

THE ELECTRICAL CONTRACTOR IS REQUIRED TO PROVIDE PRICING AND EXECUTE ALL NECESSARY LINE VOLTAGE POWER, LIGHTING, AND FIRE ALARM WORK ASSOCIATED WITH THE DEMOLITION PHASE. ALL GREY SHADED AND DIAGONALLY HATCHED AREAS ARE OUT OF THE SCOPE AREA OF THIS PHASE OF DEMOLITION. GREY SHADED AREAS WILL REMAIN OPERATIONAL AND ALL OUTAGES SHALL BE COORDINATED WITH THE OWNER. AREAS OF DEMOLITION SHALL BE MADE ELECTRICALLY SAFE FOR DEMOLITION. ALL ELECTRICAL DEVICES, FIRE ALARM DEVICES, LIGHTING FIXTURES, AND ELECTRICAL EQUIPMENT IN AREAS OF DEMOLITION ARE TO BE REMOVED COMPLETE BACK TO SOURCE.

THE CONTRACTOR SHALL VERIFY PANELS WITHIN DEMOLITION SCOPE DO NOT SUPPLY ANY LOADS IN THE GREY SHADED OR DIAGONALLY HATCHED AREAS. WHERE NOTED PER KEYNOTE E2. CONTRACTOR SHALL DETERMINE IF CIRCUIT TRACING IS REQUIRED IN EXCESS OF WHERE REQUIRED BY KEY NOTE E2 AND NOTIFY OWNER, ARCHITECT, AND ENGINEER. WHERE A PANEL IS DETERMINED TO SUPPLY A LOAD NOT WITHIN THE AREA OF DEMOLITION, THE CONTRACTOR SHALL CONTACT THE OWNER, ARCHITECT, AND ENGINEER TO COORDINATE DISCONNECTION AND RECONNECTION TO AN ACCEPTABLE PANEL OUTSIDE THE AREA OF DEMOLITION TO MAINTAIN POWER.

FIRE ALARM IN GREY SHADED AND DIAGONALLY HATCHED AREAS SHALL BE MAINTAINED AND PROTECTED IN PLACE FOR CONTINUITY AND OPERATION THROUGH THE DEMOLITION AND RENOVATION WORK. IF THE FIRE ALARM SYSTEM NEEDS TO BE TAKEN OUT OF SERVICE WHILE THE BUILDING IS OCCUPIED, CONTACT OWNER A MINIMUM OF TWO WEEKS IN ADVANCE. PROVIDE FIRE WATCH PER NFPA 72 AND IF THERE IS 8 OR MORE HOURS OF DOWNTIME ON CONSECUTIVE DAYS DURING OCCUPIED HOURS.

ELECTRICAL KEY NOTES

- E1 EXISTING PANEL TO BE REMOVED. ALL EXISTING WIRING, CONDUIT, AND DISCONNECT TO BE DEMOLISHED AND SHALL BE REMOVED TO ITS POINT OF ORIGIN
- E2 EXISTING PANEL TO BE REMOVED. ALL EXISTING WIRING, CONDUIT AND DISCONNECT TO BE DEMOLISHED AND SHALL BE REMOVED TO ITS POINT OF ORIGIN. PRIOR TO DEMOLITION OF ELECTRICAL PANEL, EC SHALL DETERMINE IF CIRCUITRY IS SUPPLYING LOAD TO SHADED AREAS.
- E3 EXISTING FIRE ALARM CONTROL PANEL, MANUFACTURER SILENT KNIGHT. RELOCATE TO WEST WALL AND MAINTAIN OPERATION FOR GRAY SHADED AND DIAGONALLY HATCHED AREAS.
- E4 EXISTING PANEL FEEDS ROOFTOP UNITS RTU-1 AND RTU-2 WHICH ARE TO REMAIN OPERATIONAL
- E5 EXISTING PANEL FEEDS EXTERIOR LIGHTING. EXTERIOR LIGHTING CIRCUITS AND CONTROLS TO REMAIN OPERATIONAL.

TECHNOLOGY SCOPE OF WORK

THE CONTRACTOR IS REQUIRED TO PROVIDE PRICING AND EXECUTE ALL NECESSARY LOW VOLTAGE WORK ASSOCIATED WITH THE DEMOLITION PHASE.

GRAY SHADED AND DIAGONALLY HATCHED AREAS ARE OUTSIDE THE SCOPE OF THIS PHASE OF DEMOLITION. CABLING SUPPORTING THESE AREAS ARE TO BE PROTECTED IN PLACE AND REMAIN OPERATIONAL.

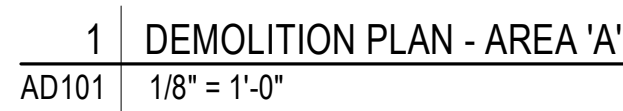
TEMPORARY NETWORK CABLING WILL BE REQUIRED IF EXISTING CABLING TO AREAS OUT OF SCOPE CANNOT BE IDENTIFIED TO PROTECT IN PLACE.

THE CONTRACTOR SHALL ENSURE PROPER DISCONNECTION AND RECONNECTION OF ALL NETWORK DEVICES TO MAINTAIN EXISTING NETWORK INTEGRITY WHILE ALSO PREVENTING ANY DISRUPTION TO THE GRAY SHADED AREAS.


- 1 REMOVE ALL INFORMATION OUTLET, NETWORK AND DATA CABLING TO SOURCE.
- 2 REMOVE ALL WIRELESS ACCESS POINTS AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.
- 3 REMOVE ALL ACCESS CONTROL READERS AND SURVEILLANCE CAMERAS AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.
- 4 REMOVE ALL INTERCOM, AUDIO, VIDEO AND TELEPHONE DEVICES AND RETURN TO OWNER. REMOVE ALL ASSOCIATED CABLING TO ITS SOURCE.




| No. | Description | Date |
|-----|-------------|---------|
| 1 | Addendum 01 | 4.22.25 |
| 2 | Addendum 04 | 5.16.25 |




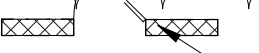
DEMOLITION KEYED NOTES


 Numbered Note Beginning with "D".

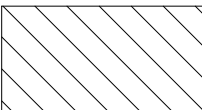
CONSTRUCTION PHASES


EXISTING WALL TO REMAIN
EXISTING DOOR TO REMAIN


EXISTING CONSTRUCTION TO BE REMOVED

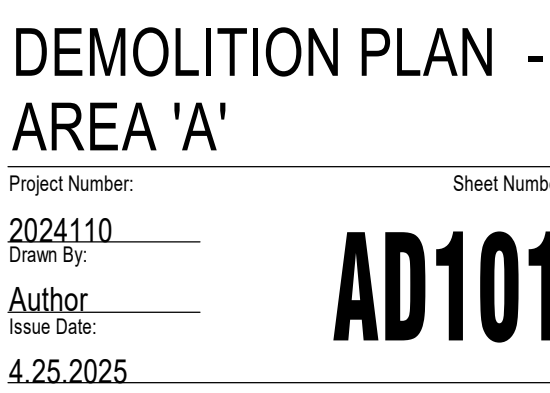

EXISTING WALL TO BE REMOVED
EXISTING DOOR TO BE REMOVED
EXISTING CMU WALL TO BE REMOVED

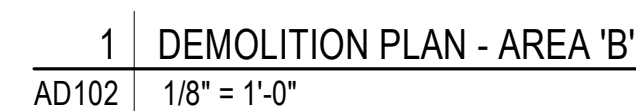

AREA NOT IN SCOPE
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.


AREA NOT IN SCOPE


GRAPHIC LEGEND - DEMOLITION PLANS

1/8" = 1'-0"








DEMOLITION KEYED NOTES


 Numbered Note Beginning with "D".


CONSTRUCTION PHASES


 EXISTING CONSTRUCTION TO REMAIN


 EXISTING WALL TO REMAIN


 EXISTING CONSTRUCTION TO BE REMOVED

 EXISTING WALL TO BE REMOVED

 EXISTING CMU WALLS TO BE REMOVED

 2

 AREA NOT IN SCOPE
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

 AREA NOT IN SCOPE

GRAPHIC LEGEND - DEMOLITION PLANS

1/8" = 1'-0"



1400 Independence Rd.

DEMOLITION PLAN -
AREA 'B'

Project Number: _____ Sheet Number: _____

2024110 _____

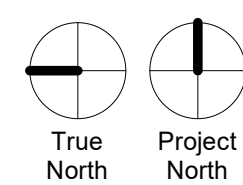
Drawn By: _____

Author _____

Issue Date: _____

4.25.2025

AD102



DEMOLITION KEYED NOTES

D01 ————— Numbered Note Beginning with "D".

CONSTRUCTION PHASES

EXISTING CONSTRUCTION TO REMAIN

EXISTING WALL TO REMAIN
EXISTING DOOR TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

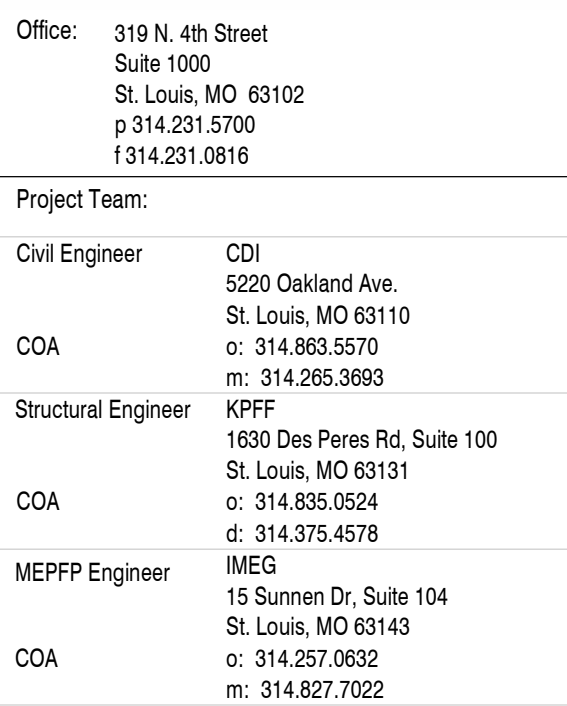
EXISTING WALL TO BE REMOVED
EXISTING DOOR TO BE REMOVED

AREA NOT IN SCOPE
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

GRAPHIC LEGEND - DEMOLITION PLANS

1/8" = 1'-0"



Architect COA: CORPORATE COA



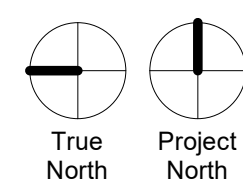
ECC - Rolla Campus

1400 Independence Rd.

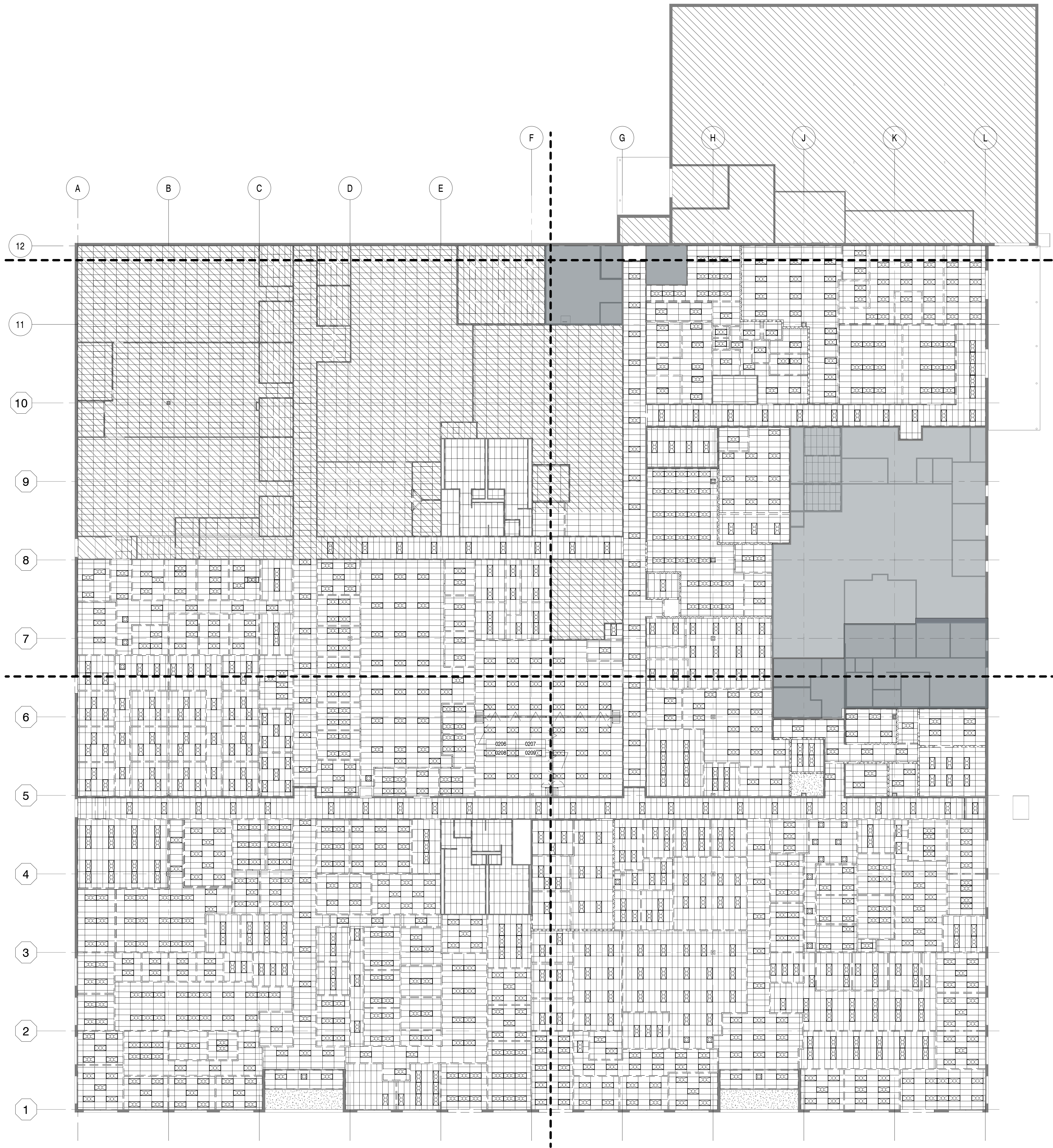
DEMOLITION PLAN -
AREA 'E'

Project Number: 2024110
Drawn By: _____
Author: _____
Issue Date: 4.25.2025

Sheet Number: **AD105**



5/16/2025 2:32:35 PM Autodesk Docs://East Central College - Rolla Campus Renovation/2024110_ECC Interior/Rev. R23.rvt



| DEMOLITION PLAN KEYED NOTES | |
|-----------------------------|--|
| 0206 | REMOVE EXISTING CEILING AND ALL RELATED ITEMS. PREP FOR NEW WORK |
| 0207 | REMOVE EXISTING LIGHTING AND ALL RELATED ITEMS. |
| 0208 | REMOVE EXISTING HVAC DISTRIBUTION AND RELATED ITEMS |
| 0209 | RELOCATE/REDISTRIBUTE EXISTING FIRE SPRINKLERS |

GENERAL NOTES - DEMOLITION REFLECTED CEILING PLAN

- DEMOLITION WORK INCLUDES BUT IS NOT LIMITED TO ITEMS IDENTIFIED BY KEYED NOTES. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION WORK REQUIRED TO INSTALL NEW CONSTRUCTION & FINISHES.
- PRIOR TO DEMOLITION OF ANY MATERIALS NOTED TO BE REMOVED, GENERAL CONTRACTOR TO MEET WITH OWNERS REPRESENTATIVE & ENGINEERING DEPARTMENT TO COORDINATE ANY MATERIALS TO BE SAVED FOR POSSIBLE REUSE.
- DO NOT DISTURB EXISTING STRUCTURAL MEMBERS WITHOUT PRIOR NOTIFICATION OF THE ARCHITECT, UNLESS OTHERWISE NOTED.
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- ALL EXISTING CEILING MOUNTED SECURITY DEVICES TO BE REMOVED. SEE ELECTRICAL DRAWINGS FOR DEMOLITION & DISPOSAL OF DEVICES.
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- ALL EXISTING CEILING MOUNTED SIGNAGE TO BE REMOVED.
- ALL EXISTING CEILING MOUNTED TELEVISIONS TO BE REMOVED.



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Professional Seal

Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

1400 Independence Rd.

| No. | Description | Date |
|-----|-------------|---------|
| 2 | Addendum 04 | 5.16.25 |

Sheet Title:

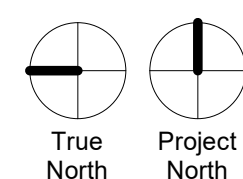
DEMOLITION CEILING
- OVERALL

Project Number: 2024110
Drawn By: AD150
Author: AD150
Issue Date: 4.25.2025

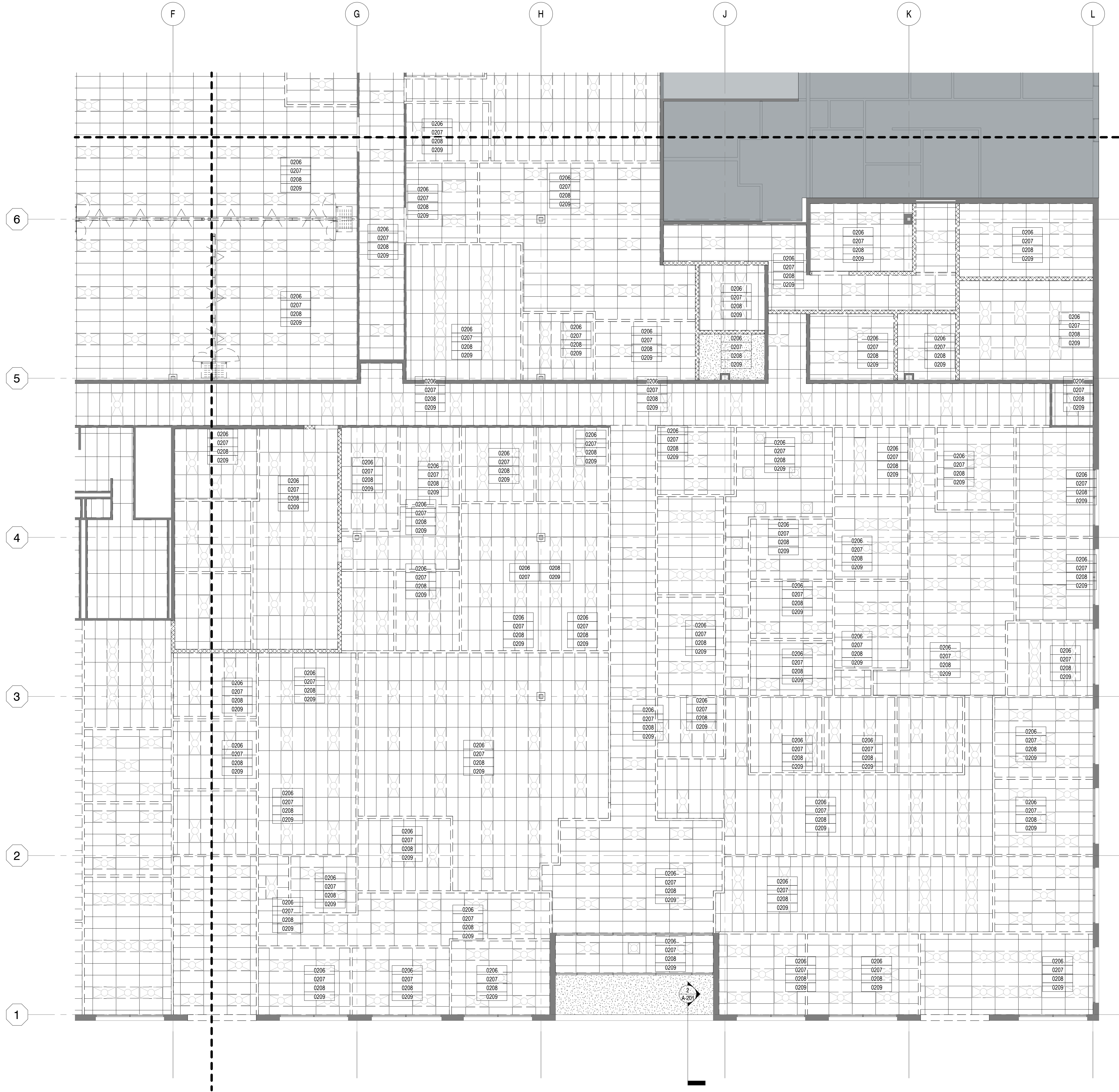
2020.01.20

1 Level 01- Demolition Ceiling - Overall
AD150 1/16" = 1'-0"

GRAPHIC LEGEND - DEMOLITION RC PLANS
1/8" = 1'-0"



5/16/2025 2:32:40 PM Autodesk Docs://East Central College - Rolla Campus Renovation/2024110_ECC Interiors/F03.rvt



DEMOLITION PLAN KEYED NOTES

| | |
|------|--|
| 0206 | REMOVE EXISTING CEILING AND ALL RELATED ITEMS. PREP FOR NEW WORK |
| 0207 | REMOVE EXISTING LIGHTING AND ALL RELATED ITEMS. |
| 0208 | REMOVE EXISTING HVAC DISTRIBUTION AND RELATED ITEMS |
| 0209 | RELOCATE/REDISTRIBUTE EXISTING FIRE SPRINKLERS |

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m: 314.827.7022
COA:

Professional Seal:

Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

1400 Independence Rd.

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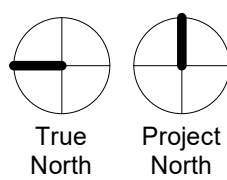
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|-----|-------------|---------|
| 2 | Addendum 04 | 5.16.25 |

Sheet Title:

DEMOLITION CEILING
- AREA 'A'

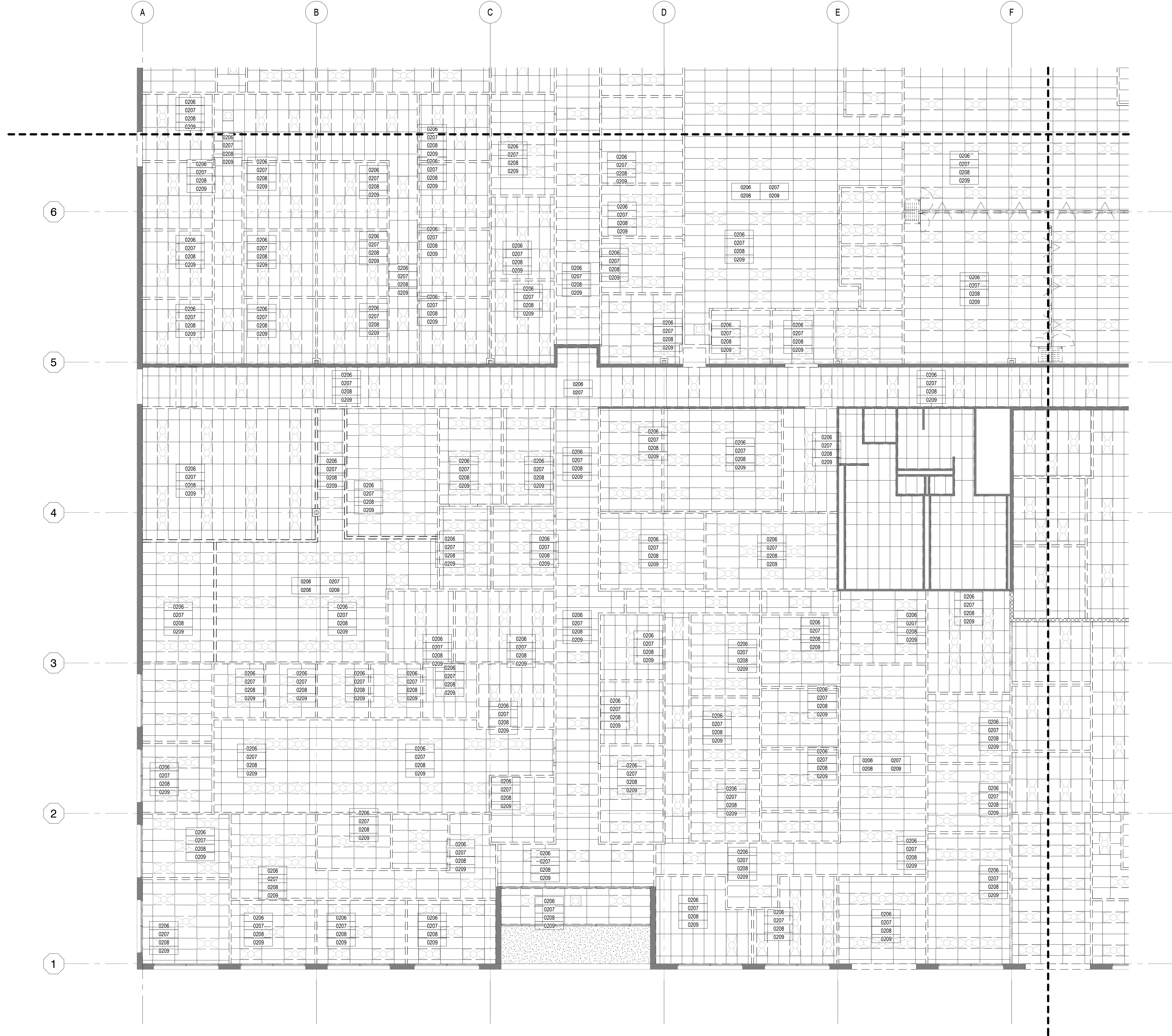
Project Number:
2024110
Revision:
Author:
Issue Date:
4.25.2025

AD151



Autodesk Docs/Elect Central College - Rolla Campus
Revision/2024110_ECC Interiors - R23.rvt
5/16/2025 2:32:44 PM

2020.01.20



1 Level 01- Demolition Ceiling Area B
AD152 1/8" = 1'-0"

DEMOLITION PLAN KEYED NOTES

| | |
|------|--|
| 0206 | REMOVE EXISTING CEILING AND ALL RELATED ITEMS. PREP FOR NEW WORK |
| 0207 | REMOVE EXISTING LIGHTING AND ALL RELATED ITEMS. |
| 0208 | REMOVE EXISTING HVAC DISTRIBUTION AND RELATED ITEMS |
| 0209 | RELOCATE/REDISTRIBUTE EXISTING FIRE SPRINKLERS |

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- ALL EXISTING CEILING MOUNTED TELEVISIONS TO BE REMOVED.

DEMOLITION KEYED NOTES - REFLECTED CEILING PLAN

D01 Numbered Note Beginning with "D".

CONSTRUCTION PHASES

EXISTING CONSTRUCTION TO REMAIN

EXISTING WALL TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

EXISTING WALL TO BE REMOVED

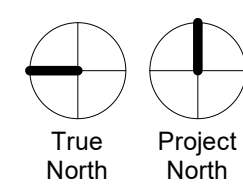
EXISTING CMU WALL TO BE REMOVED

AREA NOT IN SCOPE
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

GRAPHIC LEGEND - DEMOLITION RC PLANS

1/8" = 1'-0"



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| COA | KPFF 1630 Des Peres Rd, Suite 100 St. Louis, MO 63131 o: 314.835.0524 d: 314.375.4578 |
| Structural Engineer | MEPP 15 Sunnen Dr, Suite 104 St. Louis, MO 63143 o: 314.257.0632 m: 314.827.7022 |
| COA | |

Professional Seal:

Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

1400 Independence Rd.

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No. 2 Addendum 04

Description

Date 5.16.25

Sheet Title:

DEMOLITION CEILING
- AREA 'B'

Project Number:

2024110

Issue By:

Author

Issue Date:

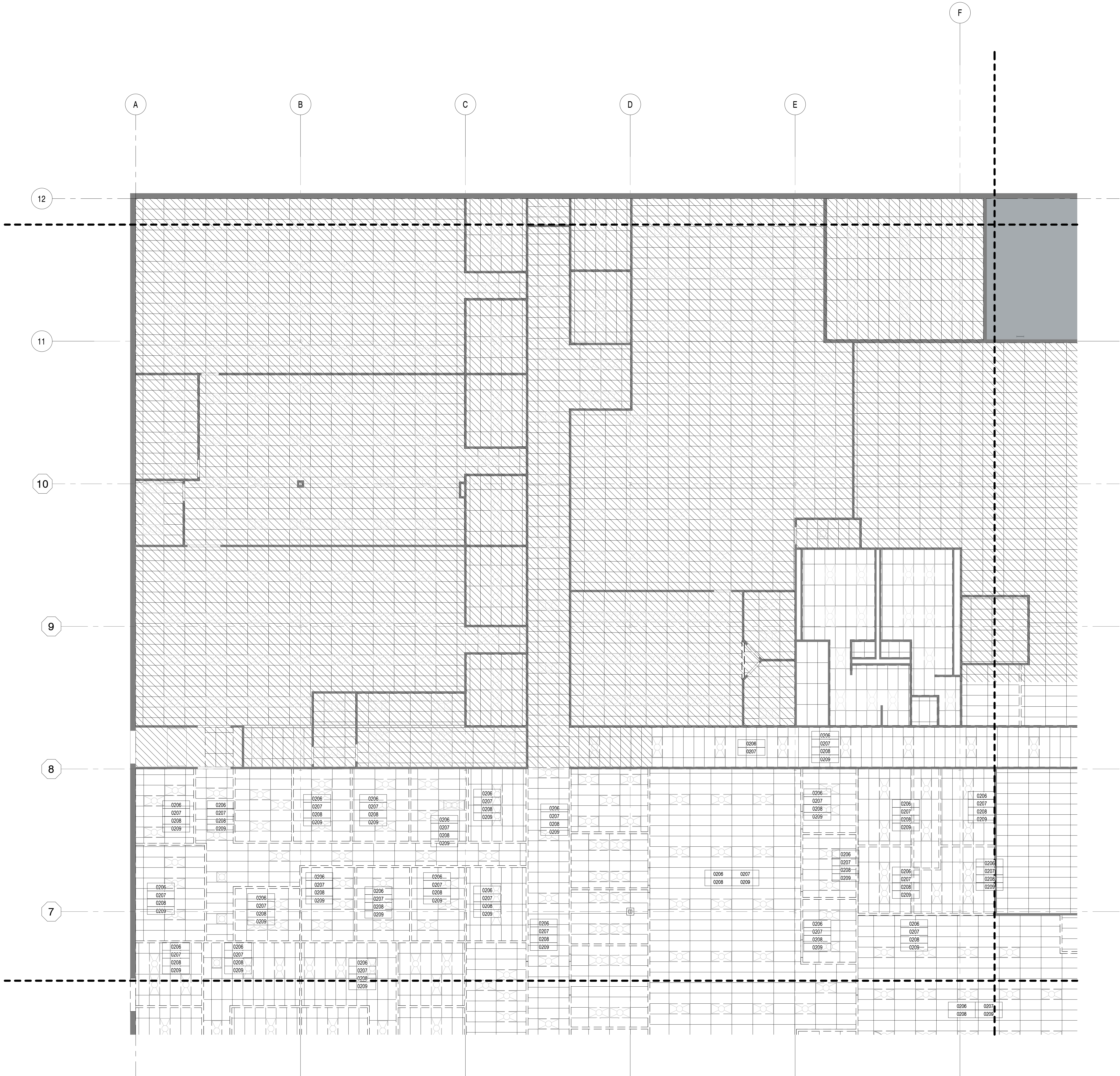
4.25.2025

AD152

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2020.01.20

1 Level 01- Demolition Ceiling Area C
AD153 1/8" = 1'-0"



DEMOLITION PLAN KEYED NOTES

| | |
|------|--|
| 0206 | REMOVE EXISTING CEILING AND ALL RELATED ITEMS. PREP FOR NEW WORK |
| 0207 | REMOVE EXISTING LIGHTING AND ALL RELATED ITEMS. |
| 0208 | REMOVE EXISTING HVAC DISTRIBUTION AND RELATED ITEMS |
| 0209 | RELOCATE/REDISTRIBUTE EXISTING FIRE SPRINKLERS |

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DEMOLITION KEYED NOTES - REFLECTED CEILING PLAN

D01 Numbered Note Beginning with "D".

CONSTRUCTION PHASES

EXISTING CONSTRUCTION TO REMAIN

EXISTING WALL TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

EXISTING WALL TO BE REMOVED

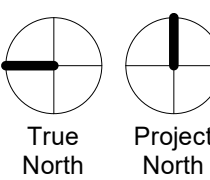
EXISTING CMU WALL TO BE REMOVED

AREA NOT IN SCOPE
AREA TO REMAIN OPERATIONAL FOR THE DURATION OF THE PROJECT.

AREA NOT IN SCOPE

GRAPHIC LEGEND - DEMOLITION RC PLANS

1/8" = 1'-0"



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m: 314.827.7022
COA

Professional Seal:

Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

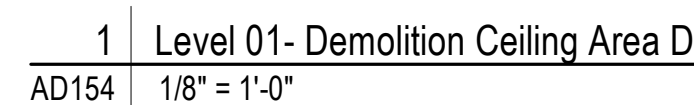
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No. 2 Addendum 04 Description 5.16.25

Date

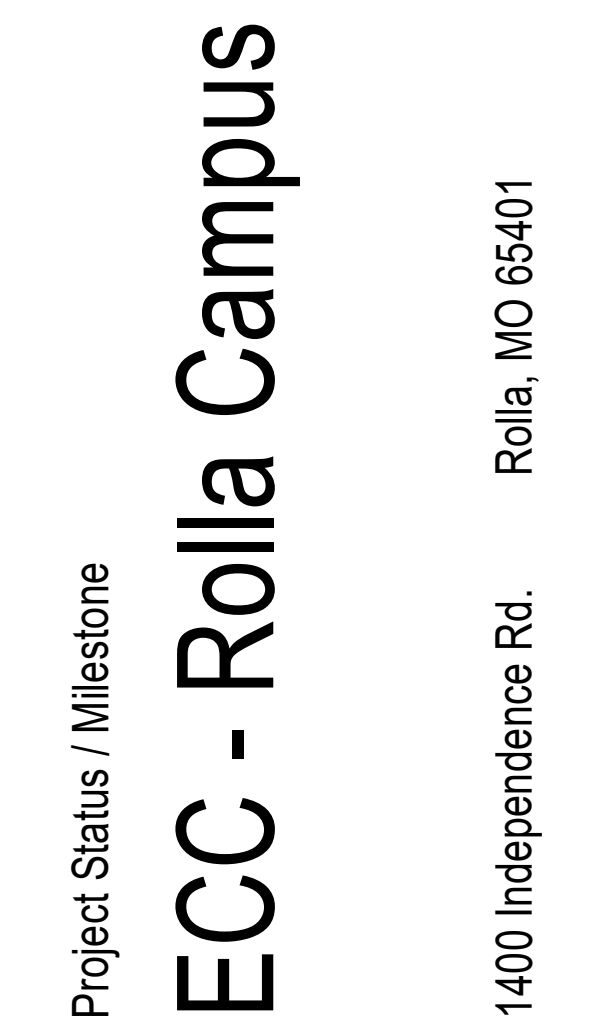


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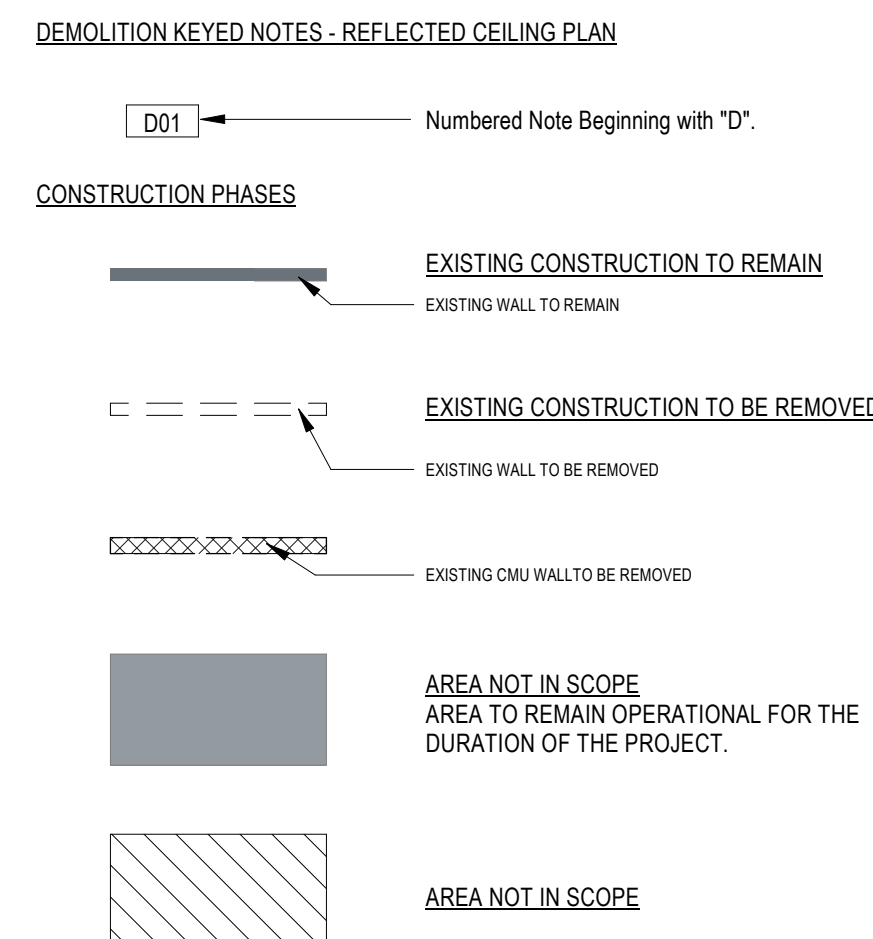
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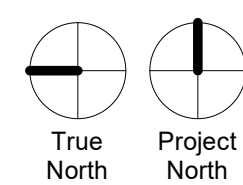
DEMOLITION CEILING
- AREA 'D'

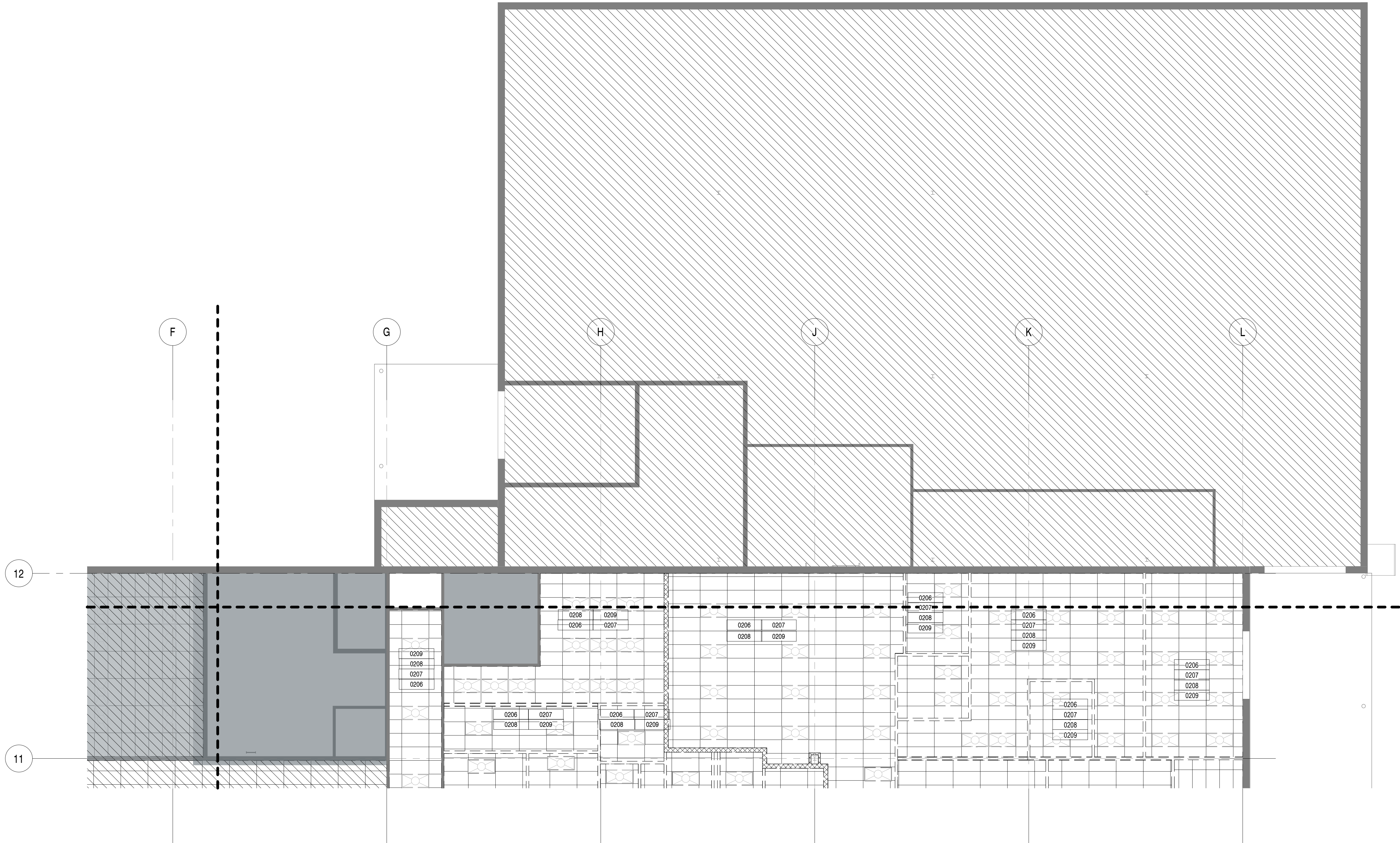
Project Number: 2024110
 Drawn By:
 Author:
 Issue Date: 4.25.2025

Sheet Number:
AD154



GRAPHIC LEGEND - DEMOLITION RC PLANS
1/8" = 1'-0"





1 Level 01- Demolition Ceiling Area E
AD155 1/8" = 1'-0"

DEMOLITION PLAN KEYED NOTES

| | |
|------|--|
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Architect COA: CORPORATE COA



Project Status / Milestone

ECC - Rolla Campus

Rolla, MO 65401

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| 2 | Addendum 04 | 5.16.25 |

Sheet Title:

DEMOLITION CEILING
- AREA 'E'

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